

# HALTON

## dampcoursing, cavity wall tie & timber specialists

CHEMICAL PRESSURE INJECTION, ELECTRO OSMOTIC AND TRADITIONAL MEMBRANE SYSTEMS,  
DRY/WET ROT AND WOODWORM TREATMENT SPECIALISTS. ALL INSTALLATIONS GUARANTEED

PROP EST 1970

Mr. Chris Johnson,  
Smith & Sons,  
51/52 Hamilton Square,  
Birkenhead,  
Wirral,  
CH41 5BN

Head office:  
61 BIRCHFIELD ROAD, WIDNES, CHESHIRE, WA8 7TA  
Telephone: 0151 424 8653 } 24 hour answering service  
Mobile: 07860 546562

19th March 2020

Dear Mr. Johnson,

Re: 7 Stonehouse Road, Wallasey, CH44 3DJ

Following our recent visit to the above property to survey for signs of rising damp as requested it is our pleasure in submitting our observations and quotation for work required as follow:-

### Observations

We have checked all the walls of the property where accessible with a Protimeter. Damp rising from the ground by capillary action creates a negative potential in a wall structure. A Protimeter is designed to detect this potential and dependent on the readings obtained, indicates the amount of damp that could be evident. We have obtained moisture content readings indicating that rising damp is evident in:-

PARTS OF ALL THE WALLS.

We were unable to check the party wall and external wall in the kitchen due to the sink/kitchen units.

Our quotation to install a dampcourse to the walls requiring treatment is as follow:-

In order that the installation is carried out correctly and to Council/Building Society and the British Wood Preserving and Dampcoursing Association Specification (B.W.P.D.A) the following works must be adhered to:-

### COMPLETE CROWN CHEMICAL INJECTION DAMPCOURSING SYSTEM

Remove the skirting boards and defective plasterwork from the base of the walls where necessary

Install a Crown Chemical Injection Dampcourse including a vertical Dpc if necessary at each point of contact with untreated brickwork in accordance with the specification laid down by Crown Chemicals Limited.



PRESERVING THE PAST... PROTECTING THE FUTURE

Mr. C. Johnson  
Re: 7 Stonehouse Road, Wallasey  
CONT/D.....

Treat the exposed brickwork with a salt neutraliser.

Tank the base of the party walls with Sika Damproofing Slurry

Treat and re-fit the skirting boards replacing at cost to the original pattern if found to be necessary.

Re-plaster to the enclosed specification.

Remove all debris from site.

Our quotation for this work     ...     ...     ...     ...     £2,200.00 total

Please note, we have included in our quotation to install the dampcourse in the external wall in the kitchen by drilling and injecting externally.

Prior to commencement of work the central heating radiators and any other fitted items would need to be removed.

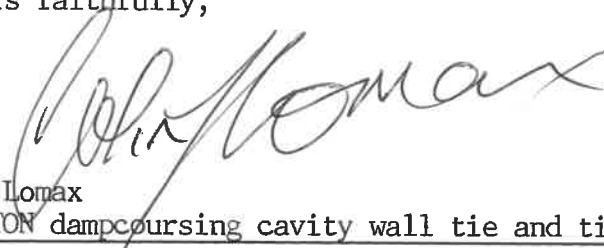
the installation and associate works would take approximately five days from commencement to completion and please refer to advice on re-decoration in re-plastering specification.

Guarantee

The chemical injection dampcourse and timber/irrigation treatments are covered by/have a 20/30 year assured guarantee endorsed by the manufacturers.

If you have any queries or require further information in this respect do not hesitate to contact the office and we shall be pleased to assist you.

Yours faithfully,



C.J. Lomax  
HALTON dampcoursing cavity wall tie and timber specialists

# HALTON

**dampcoursing, cavity wall tie & timber specialists**

**CHEMICAL PRESSURE INJECTION, ELECTRO OSMOTIC AND TRADITIONAL MEMBRANE SYSTEMS  
DRY/WET ROT AND WOODWORM TREATMENT SPECIALISTS. ALL INSTALLATIONS GUARANTEED.**

**PROP EST 1970**

## Guarantee

Head Office:  
61 BIRCHFIELD ROAD, WIDNES, CHESHIRE WA8 7TA  
Telephone: 0151 424 8653  
Mobile: 07860 546562 24 hour answering service

CLIENT: **Mr P H McKeown**  
ADDRESS: **7 Stonehouse Road Wallasey CH44-3DJ**

CONTRACT No: **3183**

COMPLETION DATE: **14th July 2020**

In pursuance of the above installation **Halton Dampcoursing, Cavity Wall Tie & Timber Specialists** whose Registered Office is situated at 61 Birchfield Road Widnes WA8-7TA in the County of Cheshire hereinafter called the Guarantor hereby guarantee for a period of **20** years from the date of completion of the said contract subject to the terms and conditions given below that in the event of any continuance or recurrence of the said


### Rising Damp

Subject to these conditions being met they will at a mutually convenient time expose and inspect the said continuance or recurrence and if in the event of a failure of works carried out by the Guarantor they will carry out any remedial treatment free of charge.

### TERMS AND CONDITIONS

- Nothing contained in the terms of this guarantee shall be construed as depriving either the client or the guarantor claiming benefit hereunder of their respective rights under common law.
- Subject to compliance with the terms and conditions the guarantee shall apply during the period it is its force to any subsequent owner or owners of the property treated.
- Where treatment has been carried out for the eradication of rising damp, timber infestation or the prevention of fungi or rot, the acceptance by the guarantor of any claim for retreatment under the guarantee shall be conditional upon:-
  - The satisfactory execution immediately after treatment of any structural or other alteration or works recommended by the guarantor to eliminate excess damp or rainwater incursion to timber or masonry or both and
  - the full and proper maintenance at all times of all water systems and services in the property and
  - all reasonable precautions being taken to protect the property from dampness at all times both internally and externally.
  - The treatment has not been interfered with or damaged. In the event that failure has followed such damage the Guarantor reserves the right to charge the client for his services in inspection and repair work.
  - Payment has been made within 28 days of submission of invoice.
- The guarantee shall apply only to those areas specified in the Contract details (reference number above).
- The guarantee shall not apply to:
  - Any items of furniture or easily movable article constructed of timber.
  - Any plywood
  - Any area not fully treated in accordance with the Guarantor's specification for guaranteed treatment.
  - Any part of the guaranteed areas which are repaired altered or added to after completion of the guaranteed treatment unless the Guarantor is informed in writing before such repairs alterations or additions to are commenced and any supplementary treatment which may be deemed necessary by the Guarantor as a result of such repairs alterations or addition is carried out by the Guarantor and paid for by the owner on the basis of the Guarantor's charges on the time of such supplementary treatment

Protected  
**20+**  
Guarantee

  
C.J LOMAX

# HALTON

## dampcoursing, cavity wall tie & timber specialists

CHEMICAL PRESSURE INJECTION, ELECTRO OSMOTIC AND TRADITIONAL MEMBRANE SYSTEMS  
DRY/WET ROT AND WOODWORM TREATMENT SPECIALISTS. ALL INSTALLATIONS GUARANTEED.

PROP EST 1970

## Guarantee

Head Office:  
61 BIRCHFIELD ROAD, WIDNES, CHESHIRE WA8 7TA  
Telephone: 0151 424 8653  
Mobile: 07860 546562 24 hour answering service

CLIENT: **Mr P H McKeown**  
ADDRESS: **7 Stonehouse Road Wallasey CH44-3DJ**

CONTRACT No: **3183**

COMPLETION DATE: **27th July 2020**

In pursuance of the above installation Halton Dampcoursing, Cavity Wall Tie & Timber Specialists whose Registered Office is situated at 61 Birchfield Road Widnes WA8-7TA in the County of Cheshire hereinafter called the Guarantor hereby guarantee for a period of 20 years from the date of completion of the said contract subject to the terms and conditions given below that in the event of any continuance or recurrence of the said

### Rising Damp

Subject to these conditions being met they will at a mutually convenient time expose and inspect the said continuance or recurrence and if in the event of a failure of works carried out by the Guarantor they will carry out any remedial treatment free of charge.

### TERMS AND CONDITIONS

- Nothing contained in the terms of this guarantee shall be construed as depriving either the client or the guarantor claiming benefit hereunder of their respective rights under common law.
- Subject to compliance with the terms and conditions the guarantee shall apply during the period it is its force to any subsequent owner or owners of the property treated.
- Where treatment has been carried out for the eradication of rising damp, timber infestation or the prevention of fungi or rot, the acceptance by the guarantor of any claim for retreatment under the guarantee shall be conditional upon:-
  - The satisfactory execution immediately after treatment of any structural or other alteration or works recommended by the guarantor to eliminate excess damp or rainwater incursion to timber or masonry or both and
  - the full and proper maintenance at all times of all water systems and services in the property and
  - all reasonable precautions being taken to protect the property from dampness at all times both internally and externally.
  - The treatment has not been interfered with or damaged. In the event that failure has followed such damage the Guarantor reserves the right to charge the client for his services in inspection and repair work.
  - Payment has been made within 28 days of submission of invoice.
- The guarantee shall apply only to those areas specified in the Contract details (reference number above).
- The guarantee shall not apply to:
  - Any items of furniture or easily movable article constructed of timber.
  - Any plywood
  - Any area not fully treated in accordance with the Guarantor's specification for guaranteed treatment.
  - Any part of the guaranteed areas which are repaired altered or added to after completion of the guaranteed treatment unless the Guarantor is informed in writing before such repairs alterations or additions to are commenced and any supplementary treatment which may be deemed necessary by the Guarantor as a result of such repairs alterations or addition is carried out by the Guarantor and paid for by the owner on the basis of the Guarantor's charges owing at the time of such supplementary treatment

  
C J LOMAX

Protected

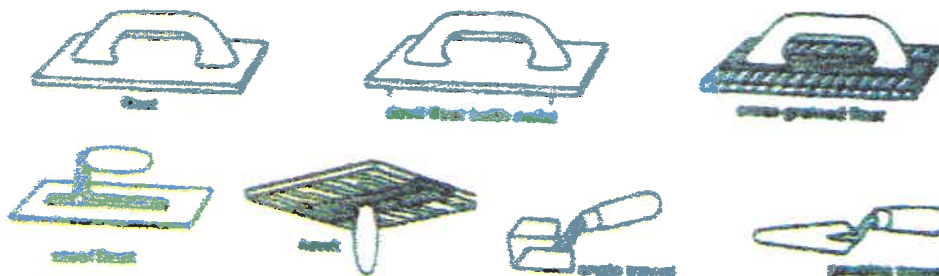
20+

Guarantee



# Replastering Specification

Replastering after the installation of a Chemical DPC



## 1. PREPARATION

Remove any existing skirtings, architraves and other surface timbers.

Hack off plaster back to the masonry to a minimum height of 1 metre and not less than 300mm above the maximum level of dampness or salt. A moisture meter should be used to detect the affected areas.

Rake out all mortar joints to a minimum depth of 12mm.

Remove any timber fixing grounds that are present in the masonry. Plastic fixings should be used where possible and new timber fixings should be pre-treated.

## 2. REPLASTERING

### Mixing

The water must be clean, free from oil, dirt or other injurious chemicals (water suitable for drinking if available). Gypsum plaster must not be added to the mix or used to secure angle beads. Washing-up liquid must not be added to the gauging solution.

### First coat

Composition - prepare 3 parts sand to 1 part cement. The sand should be specified as washed, coarse, sharp, concreting sand, loam-free which satisfies the requirements for Table 5 (Previously known as Zone 2 or 3) 74 Grade laid down in British Standard 882:1983. The cement should be fresh and free flowing Ordinary Portland Cement (OPC). Sulphate resistant cement should be used where appropriate e.g. in areas contaminated by soot, ground water, etc. A suitable waterproof additive for OPC is Rendermix 3 in 1 which contains a plasticiser.

NB Where cement with an added powder plasticiser is used do not use Rendermix. Instead use Renderaid Non-pls.

Gauging solution - use minimum water to ensure a dense coat as an approximation use not more than 8 litres per 50kg of dry mix.

Application - rub out all cavities and compact the mix into joints. Render to give an overall thickness of 12mm. When the render obtains its first set, scratch to form a key.

### Second coat

Mix as for the first coat and apply as a further 12mm thick render, giving an overall thickness of render coat of approximately 25mm. To obtain satisfactory adhesion between coats, the second coat should be applied to the first before it has set. Scratch the surface to form a key for the finishing coat.

### Third coat

This should be a 3mm thick skim of Linelite Finish, Srapite, 'Board' finish or Universal finish specified for concrete backgrounds. Do not over-trowel or polish. A soft, porous surface is preferable, to reduce the risk of condensation.

## 3. NOTES

Where masonry is unstable, it must be made good prior to the application of the render. Where a good bond with the wall is unobtainable, expanded metal lath fixed to the wall surface should be used. A bonding agent should be used in the gauging solution.

Renderers and plasterwork should not be left in contact with the finished floor to prevent damp being transferred by 'bridging' of the D.P.C. A minimum gap of 25mm is recommended.

The joints between walls and solid floors must be raked out, filled with mortar and then sealed using sealant. The skirting boards should be fitted clear of the floors to provide a small ventilation gap.

Pre-treated timber should be used and cut edges preserved with paste.

Redecoration should be delayed for as long as possible. A thin coat of non-vinyl emulsion may be applied after 6 weeks. Repapering should be delayed for at least 6 months. Vinyl or heavy non-breathing paper should not be used.

Condensation is a risk during the drying-out period. Walls dry at an average of 0.5" - 1" (13 - 25mm) of wall thickness per month. The provision of adequate background heating and ventilation during the drying-out period is essential. The use of a dehumidifier is strongly recommended.

THE

# HALTON

DAMPCOURSING, CAVITY WALL TIE & TIMBER SPECIALISTS

61 BIRCHFIELD ROAD, WIDNES, CHESHIRE WA8 7TA



# HALTON

## dampcoursing, cavity wall tie & timber specialists

CHEMICAL PRESSURE INJECTION, ELECTRO OSMOTIC AND TRADITIONAL MEMBRANE SYSTEMS.  
DRY/WET ROT AND WOODWORM TREATMENT SPECIALISTS. ALL INSTALLATIONS GUARANTEED

PROP EST 1970

Head Office:  
61 BIRCHFIELD ROAD, WIDNES, CHESHIRE, WA8 7TA  
Telephone: 0151 424 8653 } 24 hour answering service  
Mobile: 07860 546562

### ADVICE TO OUR PROSPECTIVE CUSTOMERS

- 1. YOU ARE DEALING WITH AN ESTABLISHED AND RELIABLE COMPANY. WE HAVE BEEN ESTABLISHED SINCE MAY 1970 AND WOULD ADD, WE HAVE NEVER BEEN TAKEN TO COURT FOR DEFECTIVE WORKMANSHIP, A CLAIM NO OTHER COMPANY IN THIS INDUSTRY WE KNOW OF CAN BOAST.*
- 2. YOU HAVE A WRITTEN ESTIMATE/QUOTATION DETAILING THE WORK, ON A LETTERHEAD, GIVING THE FULL NAME AND BUSINESS ADDRESS OF THE CONTRACTOR AND THE VAT REGISTRATION NUMBER.*
- 3. YOU ARE NOT REQUIRED TO PAY ON COMPLETION AND BE ALLOWED AT LEAST TWENTY EIGHT DAYS TO SATISFY YOURSELF THAT THE WORK HAS BEEN CARRIED OUT PROPERLY AS PER THE ESTIMATE/QUOTATION.*
- 4. THE WORK IS NOT SUB-CONTRACTED (UNLESS BY PRIOR ARRANGEMENT AND AGREEMENT, FOR WORK THAT WE DO NOT NORMALLY CARRY OUT.) ALL OUR STAFF ARE DIRECTLY EMPLOYED BY THE COMPANY.*
- 5. THE CONTRACTOR IS FULLY COVERED FOR THE LEGAL REQUIREMENTS OF EMPLOYEE AND PUBLIC LIABILITY INSURANCE.*
- 6. BE WARY OF CHEAPER QUOTATIONS. LOWER PRICES QUOTED ARE VERY OFTEN ONLY POSSIBLE BY USING CHEAP OR INFERIOR MATERIALS WHICH CAN HAVE A SUBSEQUENT ADVERSE LONG TERM EFFECT ON THE INSTALLATION, OR THE WORK IS NOT BEING CARRIED OUT TO THE CORRECT SPECIFICATION THAT WE HAVE SUBMITTED TO THE SAME AMOUNT OF AREAS/WALLS.*

WHEN ACCEPTING AN ESTIMATE/QUOTATION FROM A CONTRACTOR YOU ARE ADVISED, FOR YOUR OWN PROTECTION, TO  
ENSURE THAT LIKE OURS, IT FULFILLS EVERY REQUIREMENT.



PRESERVING THE PAST... PROTECTING THE FUTURE

## Chris Johnson

---

**From:** Chris Johnson  
**Sent:** 10 June 2020 16:46  
**To:** Colin Lomax  
**Subject:** 7 Stonehouse Rd, Wallasey

Afternoon Colin

Thanks for your estimate and hope that you have remained well during the lockdown.

I'm not sure if you are returning to work soon but when ready could you please undertake this work.

I have spoken to the tenant and her son who are happy for the work to be undertaken.

Could you please contact the son Philip to arrange a time. His number is 07368 613943.

Many thanks

Chris Johnson